

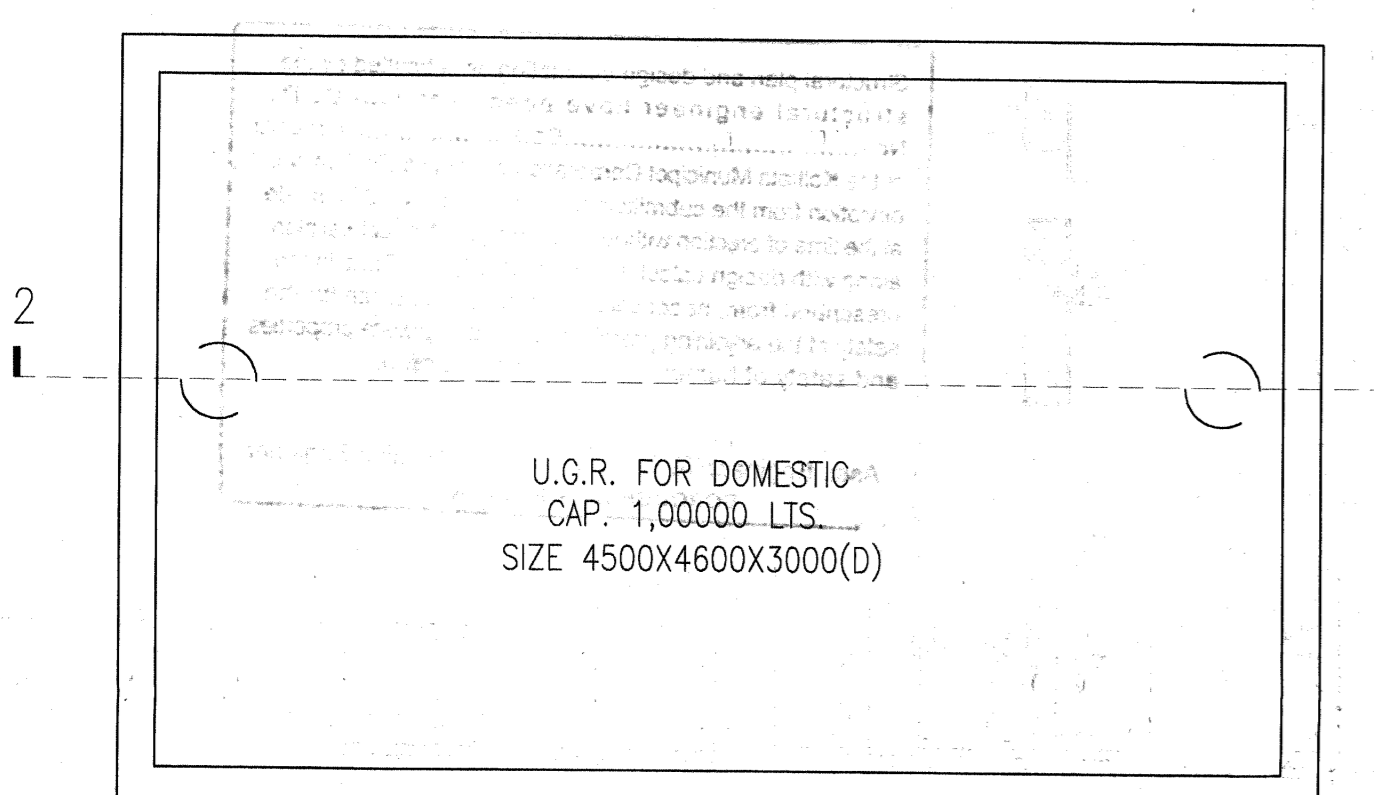
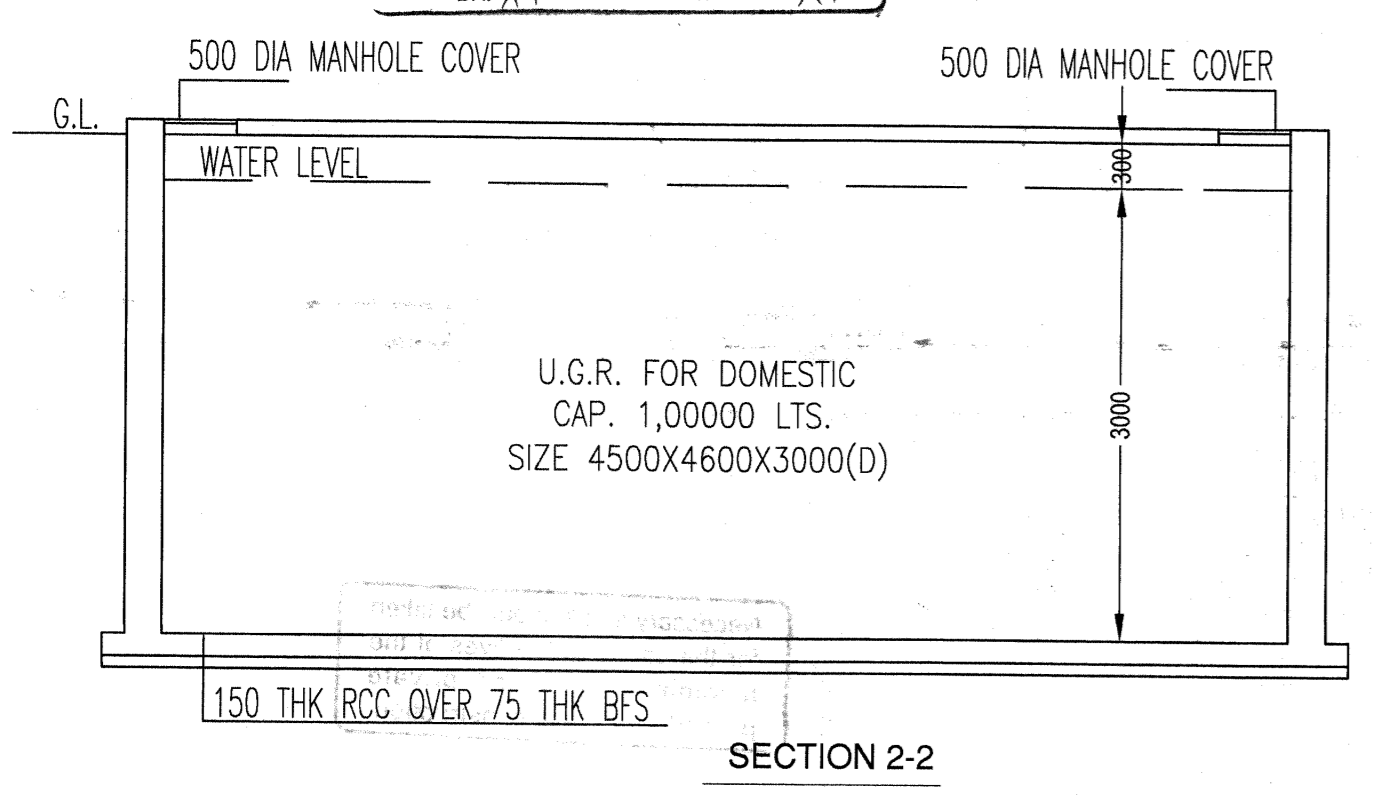
THE SANCTION IS VALID UP TO 12/12/2016

Approved by M.B.C. dt. 12/12/2016

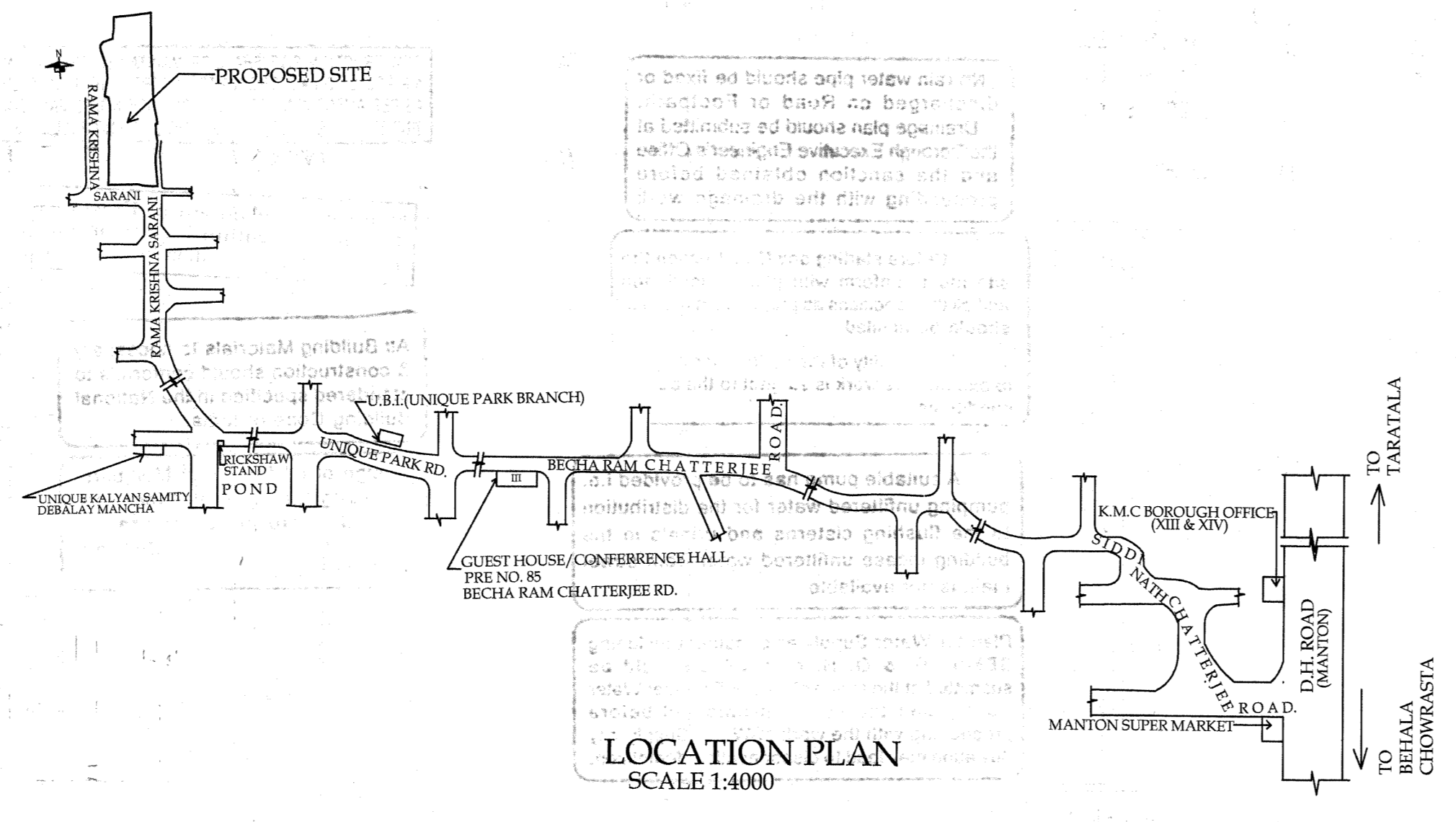
APPROVED
ASSISTANT ENGINEER (C)
BOROUGH No. XIV

Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started.

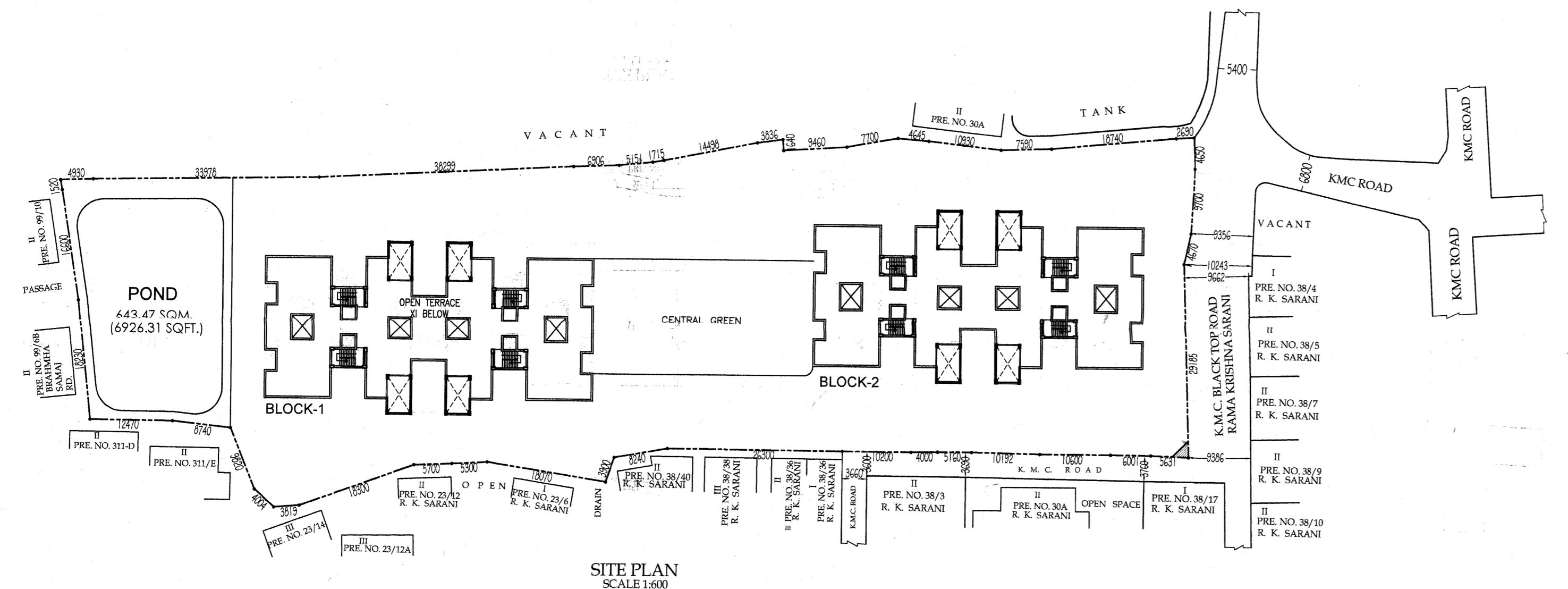
Executive Engineer (C) B.S. XIV
Asst. Engineer (C) B. PLAN XIV



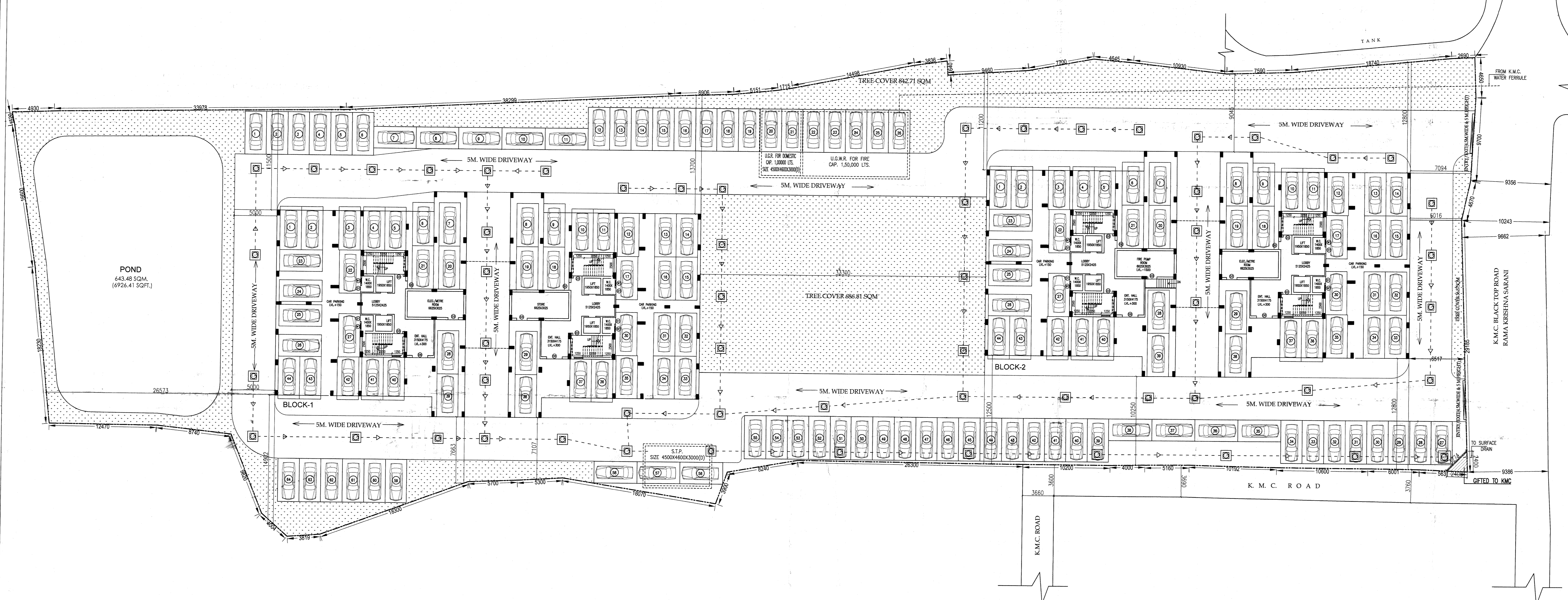
DETAIL OF SEMI UNDER GROUND WATER RESERVOIR (CAPACITY - 1,00,000 LTS.) SCALE : 1:50



LOCATION PLAN SCALE 1:4000



SITE PLAN SCALE 1:600



GROUND FLOOR PLAN SCALE 1:200

AREA STATEMENT :

LAND AREA= 7725.32 SQM. (AS PER DEED)
LAND AREA= 7436.009SQM. (AS PER PHYSICAL)
WATER BODY AREA= 643.48 SQM.
PERMISSIBLE GR. COVERAGE (RESIDENTIAL BLD.) =45% =3346.20 SQM.
PROPOSED GROUND COVERAGE =27.92 % =(1038.21+1038.21) =2076.42 SQM.
PERMISSIBLE F.A.R. = 2.25
PROPOSED HT. OF BLDG. = 33.000 M.
PROPOSED TOTAL BUILTUP AREA =15838.56 SQM (EXCL. STAIR,LIFT,LIFT LOBBY & PARKING)

PROPOSED AREAS :

(BLOCK-1)
PROPOSED BUILT UP AREAS :
GROUND FLOOR987.83 SQM
FIRST FLOOR818.08 SQM
TYPICAL FLOOR3189.6 SQM (2nd. TO 5TH.) (797.4X4)
TYPICAL FLOOR4350.85 SQM (6TH. TO 10TH.) (870.17X5)
TOTAL = 9346.36 SQM

(BLOCK-2)
PROPOSED BUILT UP AREAS :
GROUND FLOOR987.83 SQM
FIRST FLOOR818.08 SQM
TYPICAL FLOOR3189.6 SQM (2nd. TO 5TH.) (797.4X4)
TYPICAL FLOOR4350.85 SQM (6TH. TO 10TH.) (870.17X5)
TOTAL = 9346.36 SQM

PROPOSED TOTAL BUILTUP AREA (BL-1+BL-2)=9346.36+9346.36 = 18692.72 SQM
NET BUILTUP AREA (BOTH BLOCKS) = 18692.72-1309.44 = 17383.28 SQM

AREA EXEMPT FOR STAIR & LOBBY

BLOCK-1
GROUND 10TH. FLOOR = (11.88 X 4 X 11)+(12 X 11) = (522.72+132) = 654.72 SQM
BLOCK-2
GROUND 10TH. FLOOR = (11.88 X 4 X 11)+(12 X 11) = (522.72+132) = 654.72 SQM
TOTAL = 1309.44 SQM

NET AREA EACH BLOCK = 9346.36-654.72 = 8691.64 SQM

LESS PARKING AREA
BLOCK-1= 774.25 SQM
BLOCK-2= 770.47 SQM
TOTAL=1544.72 SQM

PROPOSED F.A.R. = (17383.28-1544.72)/7436.009 = 2.13

SUPER BUILT UP AREA

BLOCK-1	NOS.
FLAT-A = 117.17 SQM.	19
FLAT-B = 86.68 SQM.	10
FLAT-C = 86.68 SQM.	10
FLAT-D = 117.17 SQM.	19
FLAT-E = 108.27 SQM.	10
FLAT-F = 108.27 SQM.	10

BLOCK-2

NOS.	
FLAT-A = 117.17 SQM.	19
FLAT-B = 86.68 SQM.	10
FLAT-C = 86.68 SQM.	10
FLAT-D = 117.17 SQM.	19
FLAT-E = 108.27 SQM.	10
FLAT-F = 108.27 SQM.	10

REQUIRED PARKING

FLAT AREA	TOTAL NO. OF FLATS	PARKING REQD.
75 - 100 SQM.	20 NOS.	10 NOS.
100 - 200 SQM.	58 NOS.	58 NOS.
TOTAL	78 NOS.	68 NOS.

FOR BLOCK - 2

FLAT AREA	TOTAL NO. OF FLATS	PARKING REQD.
75 - 100 SQM.	20 NOS.	10 NOS.
100 - 200 SQM.	58 NOS.	58 NOS.
TOTAL	78 NOS.	68 NOS.

FOR BLOCK-1&2

TOTAL	156 NOS.	136 NOS.
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TOTAL NO OF PARKING REQUIRED =BL-I + BL-II = 136 NOS AND 5X2 =10 NOS =146 NOS.
TOTAL PROVIDED PARKING = 152 NOS. (COVERED=88+OPEN=64) BLOCK-1
REQUIRED TREE COVER AREA = 1115.40 SQM. (15%) ASSEMBLY AREA COV =222.35SQM. CARPET 204.65 SQM
TOTAL PROVIDED TREE COVER AREA = 1566.09 SQM. BLOCK-2
WATERBODY AREA = 643.48 SQM. ASSEMBLY AREA COV =222.35SQM. CARPET 204.65 SQM
PARKING REQUIRED 5 NOS FOR ASSEMBLY EACH BLOCK

A

1. ASSESSEE-NO: 411301001269

2. DETAILS OF DEED
BOOK NO-]
CD VOLUME NO- 25
PAGES-
BEING NO- 02359
DATED- 21/03/2014
OFFICE- DSR II ALIPORE 24 PGS (S)
3. DETAILS OF POWER OF ATTORNEY- N.A.
BOOK NO-
VOLUME NO-
PAGES-
BEING NO-
DATED-
OFFICE-

4.(c)-AREA OF THE PLOT OF LAND: 7436.009 SQM.

b) NO. OF STOREYS INDICATING BASEMENT
IF ANY - G+X

5. NO. OF TENAMENT :
SUPER BUILT UP AREA
BLOCK-1 NOS.
FLAT-A = 117.17 SQM. 19
FLAT-B = 86.68 SQM. 10
FLAT-C = 86.68 SQM. 10
FLAT-D = 117.17 SQM. 19
FLAT-E = 108.27 SQM. 10
FLAT-F = 108.27 SQM. 10

BLOCK-2 NOS.
FLAT-A = 117.17 SQM. 19
FLAT-B = 86.68 SQM. 10
FLAT-C = 86.68 SQM. 10
FLAT-D = 117.17 SQM. 19
FLAT-E = 108.27 SQM. 10
FLAT-F = 108.27 SQM. 10

CAR PARKING REQUIREMENT

75 - 100 SQM. 40 NOS. FLAT
100 - 200 SQM. 116 NOS. FLAT

B

1. GROUND COVERAGE =2076.42 SQM.(27.92 %)
2. F.A.R. CONSUMED = 2.13
3. TOTAL FLOOR AREA = 18692.72 SQM (EXCL. STAIR,LIFT,LIFT LOBBY & PARKING)
4. SERVICE AREA
BLOCK-1 =1164.18 SQM.
BLOCK-2 =1167.96 SQM.
TOTAL =2332.14 SQM.

6. TOTAL CAR PARKING AREA = 1544.72 SQM
5. NOS. OF CAR PARKING = 152 NOS. (COVERED=88+OPEN=64)

AREA	BLOCK-1	BLOCK-2
STAIR HEAD ROOM	66.00 SQM.	66.00 SQM.
CB	114.00 SQM.	114.00 SQM.
L.M.R SLAB	20.6 SQM.	20.6 SQM.
OVER HEAD WATER RESERVOIR	90.48 SQM.	90.48 SQM.
FIRE REFUGE PLATFORM	29.5 SQM.	29.5 SQM.
OTHER AREA FEES	654.72 SQM.	654.72 SQM.

PROJECT

PROPOSED G+X STORIED RESIDENTIAL BUILDING AT PRE.NO. 126, RAMAKRISHNA SARANI,WARD NO.- 130, BOROUGH - XIV, SOUTH 24 PARGANAS.

SPECIFICATIONS

1. ALL DIMENSIONS ARE IN MM UNLESS IF IS MENTIONED
2. ALL EXTERIOR BRICK WALLS ARE 230 MM THICK AND INTERIOR 125 MM THICK UNLESS IF IS MENTIONED
3. ALL EXTERIOR FINISHES ROOF OR OUTSIDE ARE IN THE MIND OF THE ARCHT. UNLESS OTHERWISE SPECIFIED
4. ALL DIA WORKS ARE AS PER IS 808 AND ALL REINFORCEMENT IS PER IS 1786
5. ALL R.C.C. WORKS ARE IN THE MIND OF ARCHT.
6. ALL PRELIMINARY WORKS SHALL BE DONE AT THE TIME OF CONSTRUCTION OF SOIL UNDEGROUND
7. SPAN OF ROOF TRUSS SHALL NOT BE MORE THAN THE SPAN OF MAIN COLUMN FOUNDATION

DOOR-WINDOW SCHEDULE

DOORS	WIDTH	HEIGHT	WINDOWS	WIDTH	HEIGHT
D1	750	2100	W1	600	900
D2	900	2100	W2	800	1200
D3	1500	2100	W3	1000	1200
D4	1000	2100	W4	1000	1200
D5	1800	2100	W5	1000	1800
D6	1000	2100	W6	600	1800

ARCHITECT'S CERTIFICATE

THE PLOT HAS BEEN INSPECTED BY ME AND ON THAT BASIS I DO CERTIFY WITH FULL RESPONSIBILITY THAT THE PROPOSED BUILDING PLAN HAS BEEN DRAWN AS PER PROVISION OF K.M.C. BUILDING RULE 2009 AS MENTIONED FROM THAT TIME THE PLOT IS DEMARCATED BY BOUNDARY WALL ON ALL FOUR SIDES. THE SITE PLAN AND LOCATION PLAN CONFORMS THE SITE.

DEBATOUSH SAHU
Architect & Urban Designer
M.A.R.C.H., F.I.A., F.I.D., A.I.D.
Regn. No. CA/69/12368
35A, Dr. Sarat Banerjee Road, Kolkata-700 029
SIG. OF ARCHITECT & SEAL

STRUCTURAL ENGINEER'S CERTIFICATE

THE STRUCTURE DESIGN AND DIMENSIONS OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC LOAD AS PER THE NATIONAL BUILDING CODE OF INDIA AND CODED THAT IT IS SAFE AND STABLE IN ALL RESPECTS.

KOUSHIK SENGUPTA
B.E. (CIVIL), M.E. (STRUCTURE)
353B-1/75 (K.M.C.C.)
KOLKATA
SIG. OF STRUCTURAL ENGINEER & SEAL

UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

ALOK ROY
Empowered Geotechnical Engineer
Kolkata Municipal Corporation
Class, No. - G/7/11
6A, Milan Park,
Kolkata-700 054

ALOK ROY
GTE No. 1/11
SIG. OF GEO-TECHNICAL ENGINEER

TOP PROJECTS PVT. LTD.
Director

SIGNATURE OF OWNER & SEAL

TITLE
BLOCK-1&2
GROUND FLOOR PLAN, SITE PLAN, LOCATION PLAN

DETAIL OF BLOCK-1&2

DRAWN	REF.
Mahul	

CHECKED SCALE 1:200, 1:400, 1:4000
DATE 28.11.2013

ARCHITECT

ESPACE
SARAT BANERJEE ROAD
KOLKATA-700029
INDIA

THIS DRAWING IS A PROPERTY OF ESPACE. I.E.A.S. DATA ENGINEERING. EXCEPT INSTANT MODIFICATION, CHANGE/REVISIONS & NOT REPRODUCED WITHOUT PERMISSION FROM THE SERVICE IN THE COMPANY THIS WILL BE TREATED AS ILLEGAL ACT.

SHEET NO. 1 OF 6